



155 E. Front Street (rear-carriage house)
Lititz, PA 17543 P (717) 625-1930 F (717) 625-1931 www.VisionEngineeringInc.net

March 30, 2020

Caernarvon Township Supervisors

2139 Main Street
Narvon, PA 17555

RE: Monthly Engineers' Report (**SEPARATE PLANNING REPORT ONLY**)

As an update to the Board, this office has worked on the following PLANNING matters this past month and would be available to answer any questions the Board may have on these or any other matters not listed here. Items noted with an (*) asterisk have supplemental attachments included with this report or were issued earlier this month. We continue working on the below listed projects as well as others not listed.

ITEMS FOR BOARD REVIEW, INPUT & ACTION:

1. **PLANNING COMMISSION SUBMITTALS AND PLAN REVIEWS FOR BOARD ACTION/INPUT** (SEE SEPARATE REPORT/ATTACHMENT AS APPLICABLE):
 - A. ***019108 2049 Turkey Hill Rd (SMUCKER) Lot Add On Plan.** A plan was received in February for a lot add on plan for this property. This plan was reviewed by the Planning Commission at their February meeting who recommended the Board consider conditional plan approvals with waivers. **It is OUR recommendation that the Board continue to Table** this plan at this time until the applicant amends the plans to include easements (right of way, stormwater & a stream) and provides alternate sewage system testing as well. Action on this plan by the Board is **required by 5/21/20.** As an UPDATE, this office did complete the required soil testing and we are now awaiting the submittal of a revised plan.
2. **STORMWATER MANAGEMENT (SWM) PLAN REVIEWS REQUIRING BOARD ACTION:** The following stormwater applications may require further Board Consideration/action as noted.
 - A. **017102 - Valley View Road SWM Plan (Sasso).** Upon inquiring recently about this project status, we found out that this plan was completed but was not formally closed out or accepted by the Township. There are items that were not addressed but the bank released the escrow funds without conferring with the Township. The Township attorney has advised how the Board should respond. **We are awaiting further direction accordingly (tabled last month).**

B. **STORMWATER ORDINANCE APPROVALS EXPIRATION.**

Your Ordinance has language to the effect that “(507) Approval of a SWM Site Plan shall be valid for a period not to exceed three (3) years. This time period shall commence on the date that the Municipality approves the SWM Site Plan. If a Certificate of Completion as required by Section 508 of this Ordinance has not been submitted within the specified time period, then the Municipality may consider the SWM Site Plan disapproved and may revoke any and all permits issued by the municipality. SWM Site Plans that are considered disapproved by the Municipality may be resubmitted in accordance with Section 504 of this Ordinance”. As a general rule, we have never had to enforce this section of the Ordinance, but there is a plan that has been unresponsive for over four (4) years (SEE ITEM # 5A of this report). We would like to know if the Board wants to enforce this for all projects and issue letters notifying applicants accordingly.

3. **STORMWATER MANAGEMENT (SWM) PLAN ACTIVE PROJECTS FOR BOARD UPDATES ONLY (NO ACTION):** The following stormwater applications do NOT require Board Consideration/action at this time.

- A. **013102 - BRUBACHER SWM PLAN.** (Approval July 2017)
Awaiting final compliance submittal and start work date.
- B. **015104 - Twin County Rd. (Q. Shirk) SWM Plan.** This project has commenced with the work, but seems to have been suspended. The work was activated (2018), but has been inactive since that time (incomplete). We sent out an inquiry and are awaiting a reply from the owner and will report to the Board accordingly
- C. **015106 - Edwards Rd. (Verizon) SWM Plan.** We met once again this month with Verizon representatives in the field and reviewed the corrective actions to be implemented to address this plan. The contractor has completed the work but the corrective actions requires the filing (recording at court house) of an amended plan. We will review and advise accordingly.
- D. **016110 - Ivan Smucker SWM Plan.** This plan has been under construction (2018) & inspections. Last month (February) the Board reduced the escrow as recommended. We will await final completion (spring).
- E. **018103 WAWA Land Development & SW Plan.** The Board conditionally approved this plan (Subdivision & Land Development). This past month the Contractor has installed some of the perimeter stormwater pipes and has also begun excavation for the underground stormwater system. Before the underground stormwater installation begun, the work has STOPPED (COVID19).

We will continue monitoring and updating as appropriate but are awaiting the work to commence again.

- F. **019102 2645 Wood Ln. Miller Stormwater Plan.** The Board conditionally approved this SWM Plan (March, 2019). As an update, the home is under construction (and sewage system) but the stormwater system is waiting until the spring of 2020.
- G. **019103 Stormwater Management Plan for Pinnacle Premier Properties, LLC** (6980 & 6950 Division Highway). The Board conditionally approved this plan (7/8/19) and is under construction (awaiting inspections).
- H. **019107 Lambert Road Emmanuel Lapp (SWM Plan).** The Board conditionally approved this plan on 12/9/19 and is under construction (awaiting inspections).
- I. **020101 - 2449 Hammertown Road (STOLTZFUS)**. The Board conditionally approved this stormwater plan last month (3/2/20). We recently received a compliance submittal which we will review to allow the plan to be recorded.

4. Compliance and Violations:

- A. **SLAWKO Land Development Plans.** Awaiting further direction by the Township Solicitor's office on this matter.
- B. **Conrad/Blevins Stormwater Violation.** We have been working with the Township Solicitor (Susan Peipher) as needed and directed accordingly.

5. Submitted/INACTIVE Stormwater Plans: The following listed plans have been inactive (awaiting a resubmittal and/or construction) as follows:

- A. **015102 - Lot # 6 N. Red School Rd (Berks Homes)** Plans were conditionally approved by the Board in MAY, 2015. Our office received a submittal (February, 2016) and have issued our comments (housekeeping comments only) but never received a FINAL Plan. **WE ARE ASKING THE BOARD'S input on this project (#2B. ABOVE).** The plan was conditionally approved about five (5) years ago. The Last submittal we received to address the conditions of approval was over four (4) years ago. Your Ordinance allows applicants a three (3) year period to install the improvements. At that time, the approve plan expires. We would like to know if the Board would like to withdraw your approvals of this plan and require a resubmittal when the applicant is ready to move ahead. And also generally, for other projects, if you would like to enforce this three (3) year approval period and whether we should issue letters upon expiration accordingly.

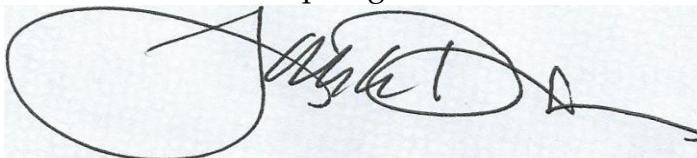
6. **STORMWATER EXEMPTIONS (UNDER 1,000 SQUARE FT.).** This office has reviewed/issued the following this past month:
 - A. *CAERN 020203 1745 Turkey Hill Rd. MARTIN. Install a “high tunnel” structure per the New Ordinance.
7. ***SMALL STORMWATER PROJECTS (1,000 SQUARE FT. TO 5,000 SQUARE FT.).** This office has reviewed/issued the following this past month:
 - A. *CAERN 020303 6146 Div. HWY. MILLER (PENDING MORE INFO from applicant).
 - B. *CAERN 020306 2148 Main St. HISTORICAL SOCIETY Expand Existing Building (bathroom).
 - C. *CAERN 020307 1739 Turkey Hill Rd. RISSLER MASONRY Expand Existing Parking area (prior work).
 - D. *CAERN 020308 1817 Spring Hollow Rd. HORNING Expand Driveway.
 - E. *CAERN 020309 6085 Division Hwy. FISHER Expand Existing Impervious Areas (prior work/compliance).
 - F. *CAERN 020310 2862 Best Rd. PETERSHEIM Expand Existing Home.
 - G. *CAERN 020311 2334 Violet Ln. STAUFFER New Shed.
8. ***FEE RECONCILIATIONS (STORMWATER APPLICATIONS).** This office issues monthly reconciliation of account fees to the various applicants to reconcile the outstanding balances due and payable to Caernarvon Township (copies attached) as applicable.

We also continue to work on any and all items that come before us and/or which have been ongoing from prior Board actions and can answer any questions the Board may have in this or any other regard.

Respectfully,

Vision Engineering, Inc.

Caernarvon Township Engineer

A handwritten signature in black ink, appearing to read 'John K. Roche', is written over a light blue rectangular background.

John K. Roche, P.E.,
President

Attachments (items denoted with * above)



155 E. Front Street (rear-carriage house)

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March 9, 2020

Joseph Martin

1745 Turkey Hill Road

East Earl, PA 17519

RE: Exempt SW Project 1745 Turkey Hill Rd. **PERMIT CAERN-020203 - Add HIGH TUNNEL STRUCTURE (20' x 150' = 3,000 SQUARE FEET).** (HIGH TUNNEL EXEMPTION CREDITS 3,000 SF out of 3,042 SF MAX.).

Dear Mr. Martin:

As a follow up to the above captioned project we have reviewed the above referenced application and sketches and have determined that your exemption request has been **CONDITIONALLY approved**. We make the following conditions part of this approval. If you are unable to comply with any and all of these conditions for your project please notify our office immediately as this may nullify this exemption:

1. The improvements shall be limited to the work described in your application and the 3,000 square feet foot print as listed.
2. The stormwater runoff from any of these **improvements & impervious areas** should be discharged to a stable area so as to prevent erosion. Stormwater from the project should not be concentrated, but rather it shall be dispersed across a broad area to avoid creating any adverse conditions and promote infiltration.

Please note: The existing buildings on your property (including another high tunnel structure 30'x112') was assumed to be in compliance and considered existing conditions. We have attached a copy of the map used to determine the existing buildings at the time of this permit. It has been determined that your new project qualifies under the limited High Tunnel Ordinance exemption which was just recently adopted by the Township Supervisors (January, 2020). Your permit application was submitted a while ago, but due to the timing of the new Ordinance, your application was not processed until just recently. If you have any questions at all please let us know.

Sincerely,

Vision Engineering, Inc.

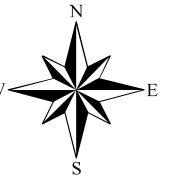
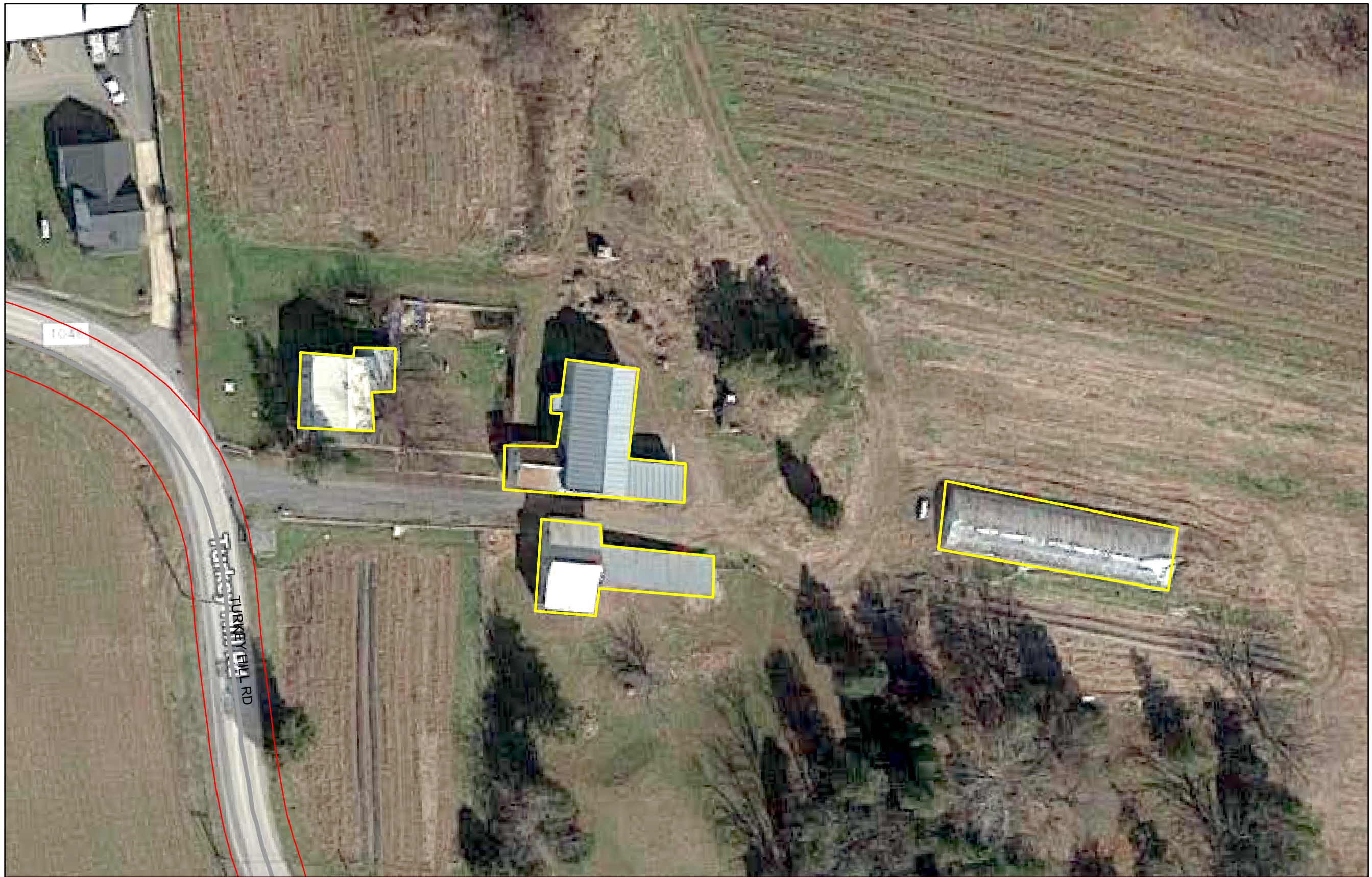
Caernarvon Township Engineer

John K. Roche, P.E.

President

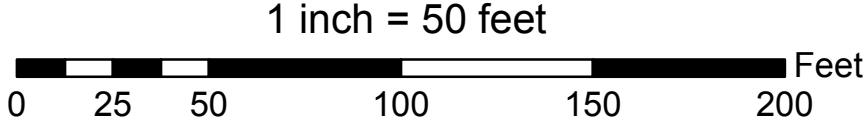
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cc: Caernarvon Township, Robin Royer & Project File



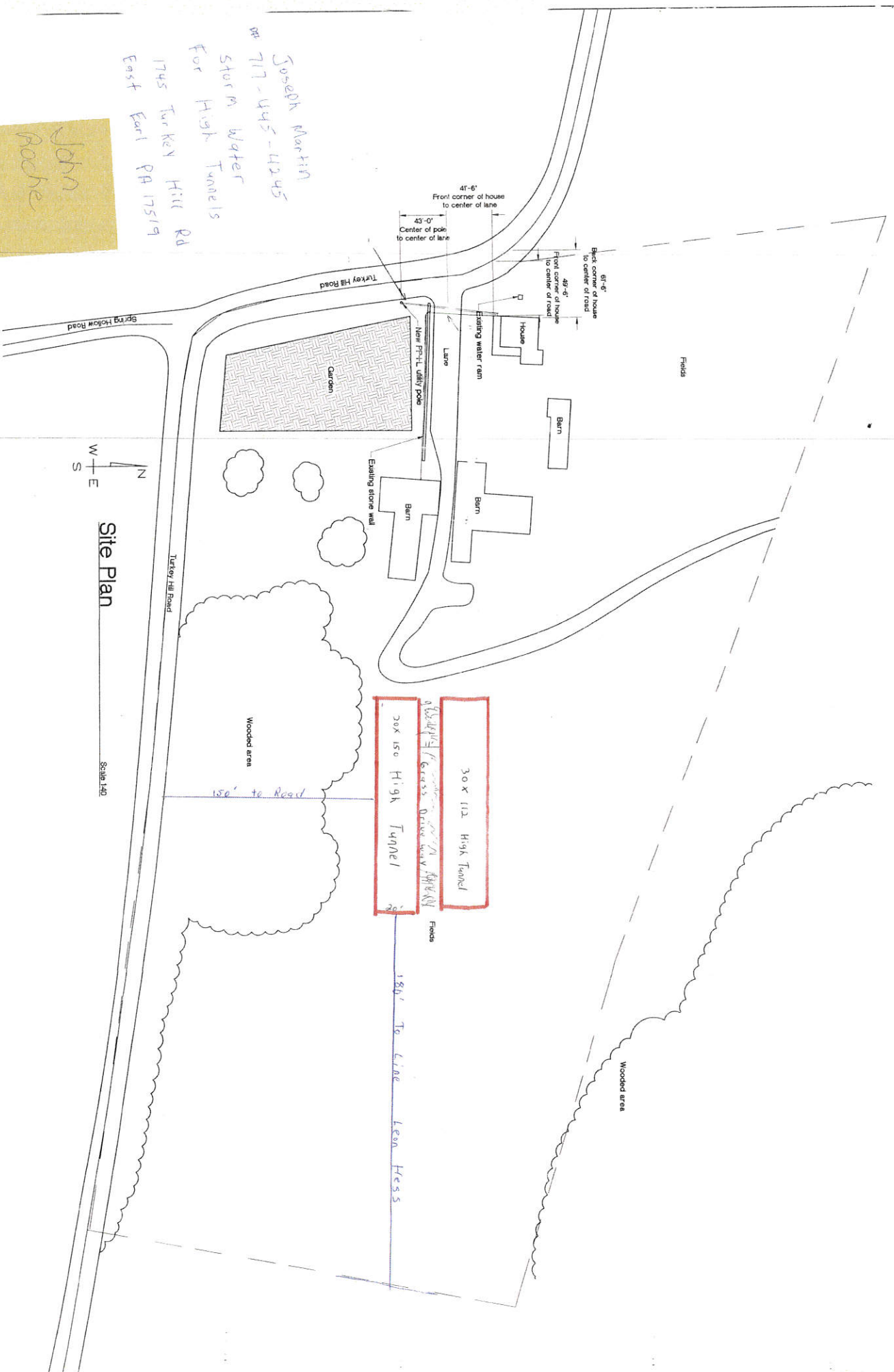
1745 Turkey Hill Road

12,166 SF
EXISTING BUILDINGS



Joseph Martin
 717-445-4245
 storm water
 for High Tunnels
 1745 Turkey Hill Rd
 East Earl PA 17519

John
 Roche



Site Plan

Scale 1/40

30 x 112 High Tunnel
 20 x 150 High Tunnel

180' To Line Leon Hess

150' to Road



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March 9, 2020

Caernarvon Historical Society ATTN Yvonne Styer

2148 Main Street

Narvon, PA 17555

RE: SMALL SW Project 2148 Main Street **PERMIT CAERN-020306 - Expand Building (18.33'x 28') AND NEW WALKWAY/STOOP (5'x23') = 630 Square Feet of New Impervious for STORMWATER**

Dear Ms. Styer:

We have reviewed the above Application in accordance with the current Caernarvon Township SWM Ordinance (2014). Based on your project with **630 square feet (SF) of net impervious area**, an **infiltration volume of 53 Cubic Feet (CF) or 400 gallons** is required. Construct an infiltration facility (BMP) with a **void (storage) volume of 53 CF or 400 Gallons** or more to **receive the runoff from the proposed improvements (or other equivalent impervious area)**; examples/options as follows (select ONLY one BMP below):

1. Install a shallow **rain garden** with minimum dimensions of **28 feet long by 2 FEET wide** (or equivalent area) and a **depth of no more than six (6") inches**. **OR**.
2. Install a **Stone Trench** with minimum dimensions of **53 feet long by 2 feet wide by 15" deep** (or equivalent area) **no more than (15") deep**.

NOTE: BMP's shall be kept away from ROAD, driveways, property lines, septic tank, drain field, sand mound, **well**, building foundation and outside of easements and right-of-ways. If you meet the above conditions in implementing the improvements shown on your plan you can consider this letter as your **STORMWATER PERMIT** for the project and are considered compliant. Please also take note of the **enclosed brochure regarding your stormwater facilities (BMP's)**. Hopefully, this information gives you a better understanding of these improvements. Any questions at all please contact our office.

Sincerely,

Vision Engineering, Inc.

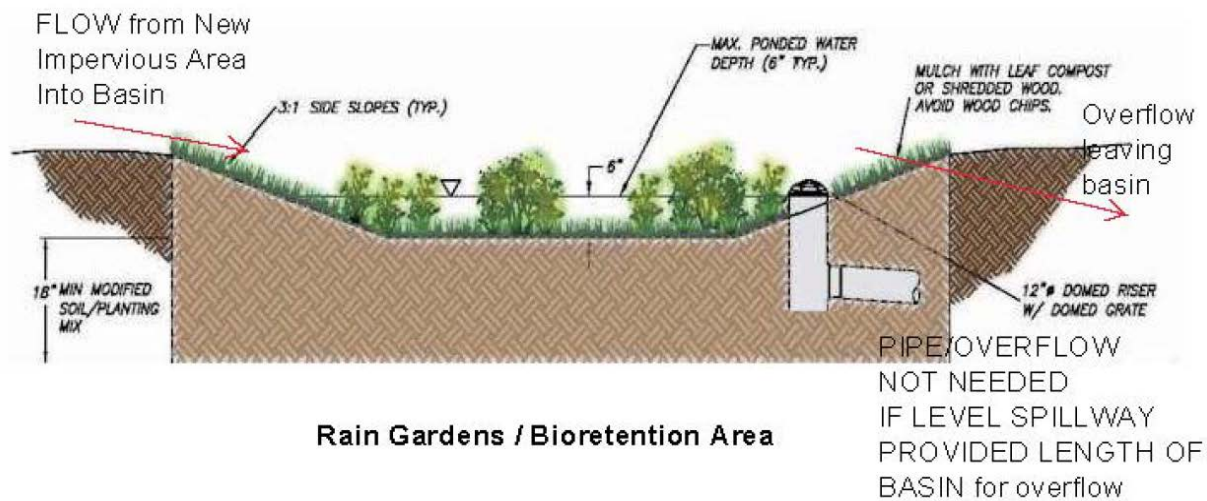
Caernarvon Township Engineer

John K. Roche, P.E.

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Enclosures BMP Manual (brochure) & SKETCH

cc: Caernarvon Township, Robin Royer & FILE



Stone Trench Details Below (see PERMIT)
 Pipe is not necessary for trench placed alongside of driveway. Flow from driveway directed into Trench overland.

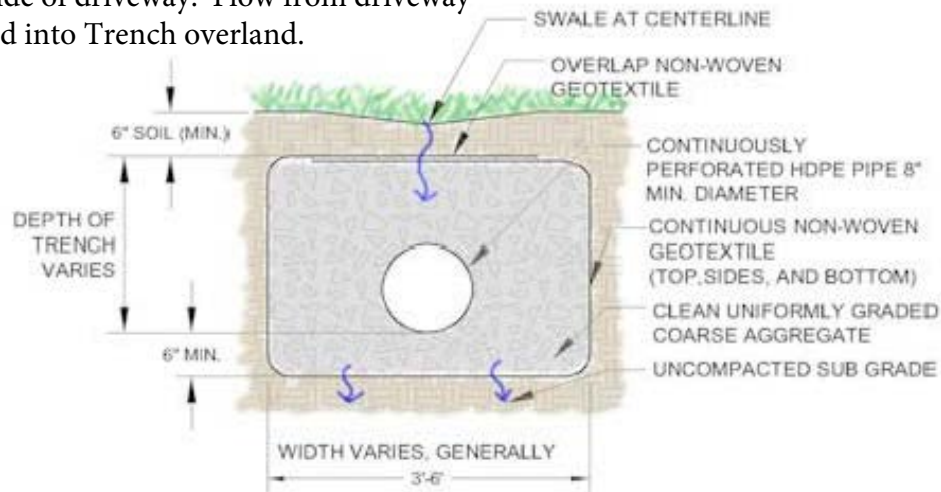


Figure 6.4-1

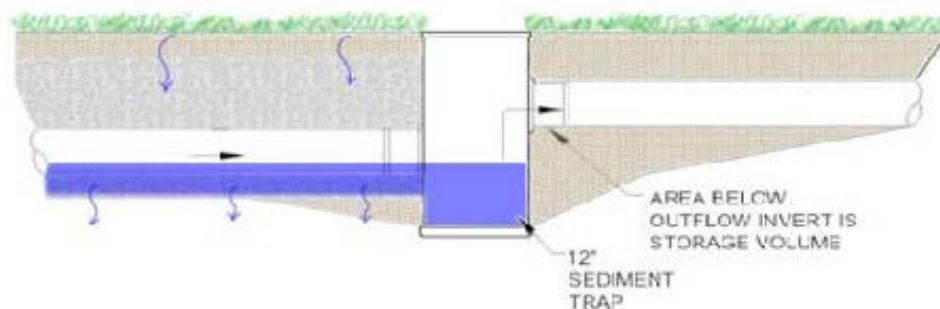


Figure 6.4-2



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March 9, 2020

Rissler Masonry ATTN: Floyd Rissler

1739 Turkey Hill Road

East Earl, PA 17519

RE: SMALL SW Project 1739 Turkey Hill Road **PERMIT CAERN-020307 -
Install Retaining Wall & Expand Parking (475 Square Feet) ONLY = 475
Square Feet of New Impervious for STORMWATER**

Dear Mr. Rissler:

We have reviewed the above Application in accordance with the current Caernarvon Township SWM Ordinance (2014). Based on your project with **475 square feet (SF) of net impervious area**, an **infiltration volume of 40 Cubic Feet (CF) or 300 gallons** is required. Construct an infiltration facility (BMP) with a **void (storage) volume of 40 CF or 300 Gallons** or more to **receive the runoff from the proposed improvements (or other equivalent impervious area)**; examples/options as follows (select ONLY one BMP below):

1. Install a shallow **rain garden** with minimum dimensions of **21 feet long by 2 FEET wide** (or equivalent area) and a **depth of no more than six (6") inches**. **OR.**
2. Install a **Stone Trench** with minimum dimensions of **40 feet long by 2 feet wide by 15" deep** (or equivalent area) **no more than (15") deep**.

NOTE: BMP's shall be kept away from ROAD, driveways, property lines, septic tank, drain field, sand mound, **well**, building foundation and outside of easements and right-of-ways. If you meet the above conditions in implementing the improvements shown on your plan you can consider this letter as your **STORMWATER PERMIT** for the project and are considered compliant. Please also take note of the **enclosed brochure regarding your stormwater facilities (BMP's)**. Hopefully, this information gives you a better understanding of these improvements. Any questions at all please contact our office.

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Vision Engineering, Inc.

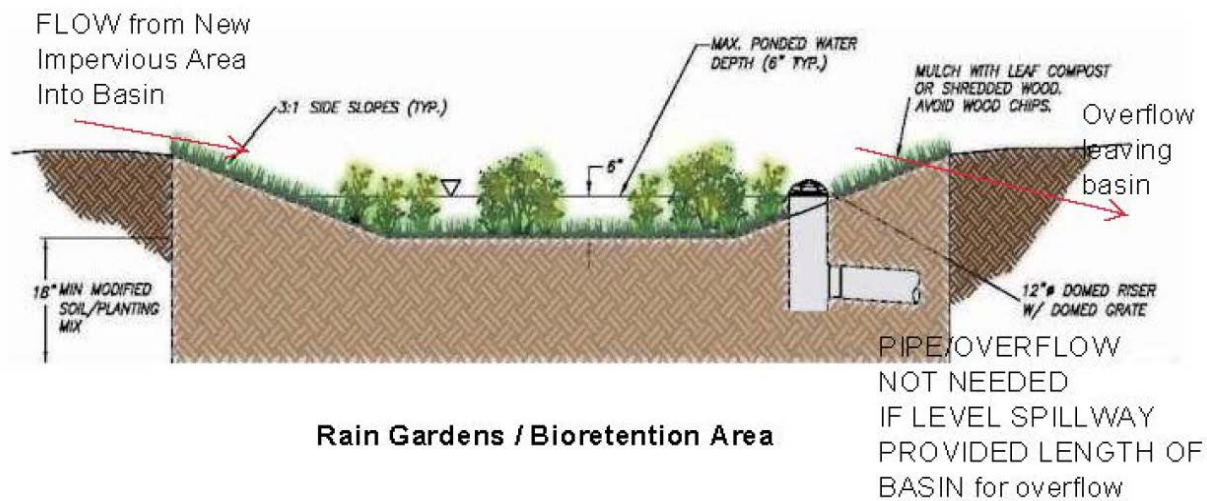
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Stone Trench Details Below (see PERMIT)
 Pipe is not necessary for trench placed alongside of driveway. Flow from driveway directed into Trench overland.

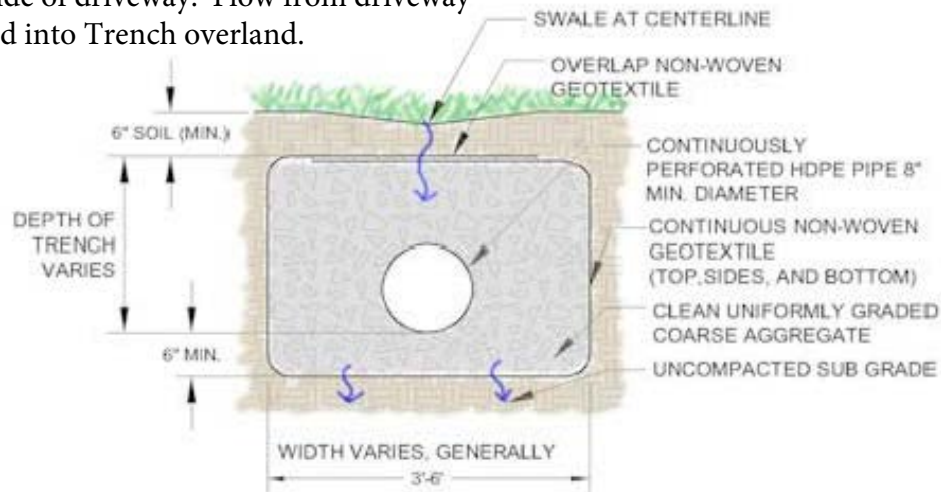


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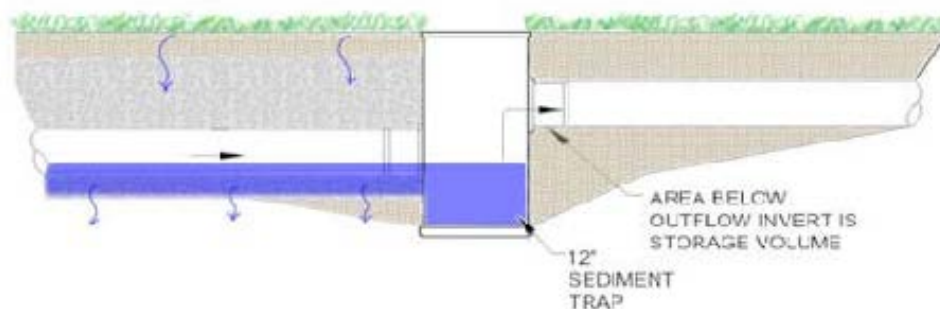


Figure 6.4-2



155 E. Front Street (rear-carriage house)
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March 9, 2020

Harvey Horning

1817 Spring Hollow Road

East Earl, PA 17519

RE: SMALL SW Project 1817 Spring Hollow Road **PERMIT CAERN-020308 – Expand Driveway (12'x 120') ONLY = 1,200 Square Feet of New Impervious for STORMWATER**

Dear Mr. Horning:

We have reviewed the above Application in accordance with the current Caernarvon Township SWM Ordinance (2014). Based on your project with **1,200 square feet (SF) of net impervious area**, an **infiltration volume of 100 Cubic Feet (CF) or 748 gallons** is required. Construct an infiltration facility (BMP) with a **void (storage) volume of 100 CF or 748 Gallons** or more to **receive the runoff from the proposed improvements (or other equivalent impervious area)**; examples/options as follows (select ONLY one BMP below):

1. Install a shallow **rain garden** alongside the new driveway with minimum dimensions of **100 feet long by 6 INCHES wide** (or equivalent area) and a **depth of no more than six (6") inches. OR.**
2. Install a **Stone Trench** alongside the new driveway with minimum dimensions of **100 feet long by 2 feet wide by 15" deep** (or equivalent area) **no more than (15") deep.**

NOTE: BMP's shall be kept away from ROAD, driveways, property lines, septic tank, drain field, sand mound, **well**, building foundation and outside of easements and right-of-ways. If you meet the above conditions in implementing the improvements shown on your plan you can consider this letter as your **STORMWATER PERMIT** for the project and are considered compliant. Please also take note of the **enclosed brochure regarding your stormwater facilities (BMP's)**. Hopefully, this information gives you a better understanding of these improvements. Any questions at all please contact our office.

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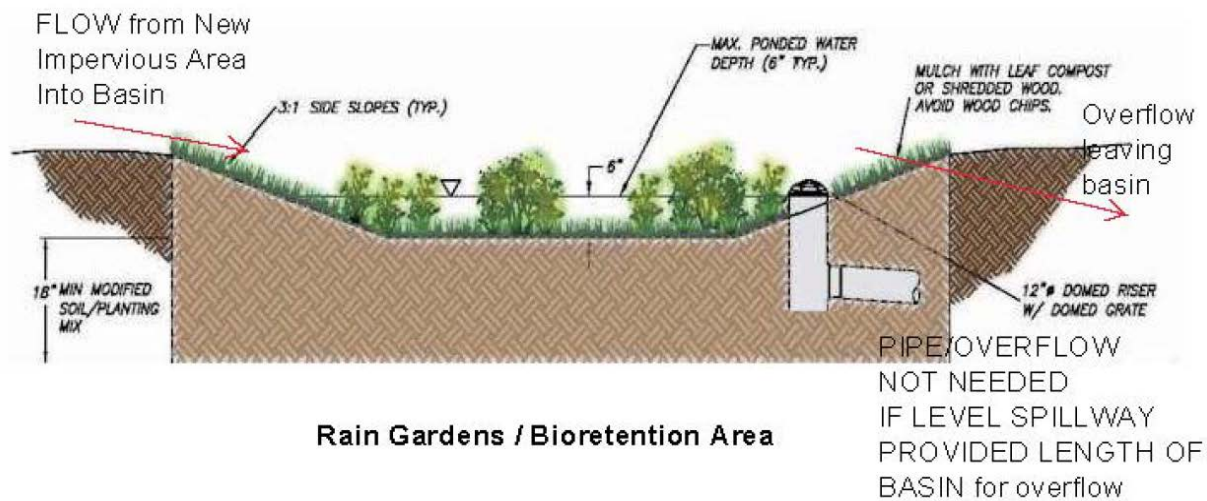
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 Pipe is not necessary for trench placed alongside of driveway. Flow from driveway directed into Trench overland.

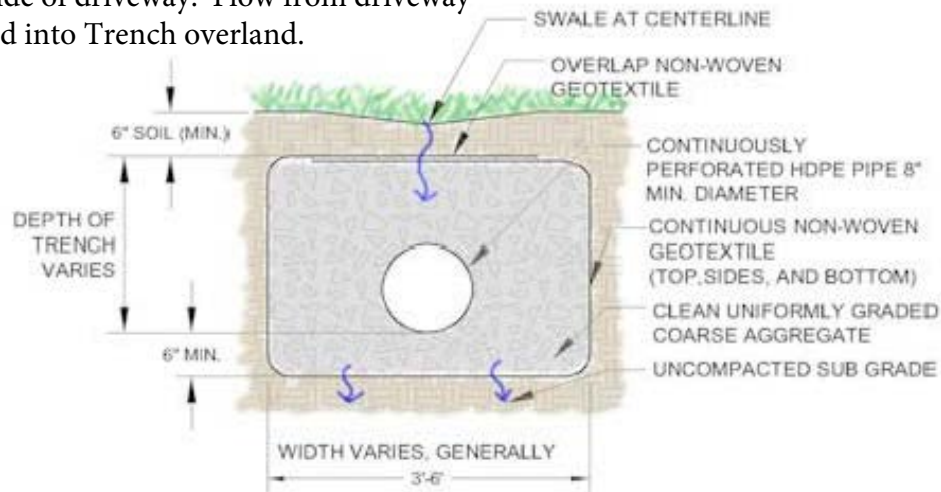


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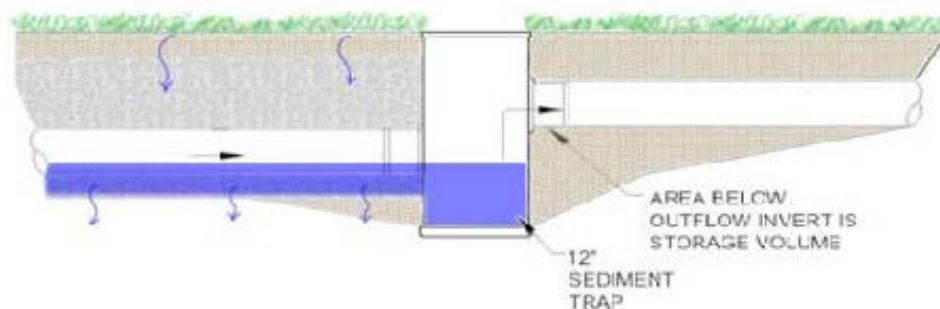


Figure 6.4-2



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March 17, 2020

Ivan Fisher

247 S. Poole Forge Road
Narvon, PA 17555

RE: SMALL SW Project 6085 Division Highway **PERMIT CAERN-020309 -
Expand Various Impervious Surfaces = 4,800 Square Feet of New
Impervious for STORMWATER**

Dear Mr. Fisher:

We have reviewed the above Application in accordance with the current Caernarvon Township SWM Ordinance (2014). Based on your project with **4,800 square feet (SF) of net impervious area**, an **infiltration volume of 400 Cubic Feet (CF) or 3,000 gallons** is required. Construct an infiltration facility (BMP) with a **void (storage) volume of 400 CF or 3,000 Gallons** or more to **receive the runoff from the proposed improvements (or other equivalent impervious area)**; examples/ options as follows (select ONLY one BMP below):

1. Install a shallow **rain garden** alongside the new driveway with minimum dimensions of **75 feet long by 9 FEET wide** (or equivalent area) and a **depth of no more than six (6") inches**. **OR.**
2. Install a **Stone Trench/Bed** alongside the new driveway with minimum dimensions of **100 feet long by 8 feet wide by 15" deep** (or equivalent area) **no more than (15") deep**.

NOTE: BMP's shall be kept away from ROAD, driveways, property lines, septic tank, drain field, sand mound, **well**, building foundation and outside of easements and right-of-ways. If you meet the above conditions in implementing the improvements shown on your plan you can consider this letter as your **STORMWATER PERMIT** for the project and **are considered compliant**. Please also take note of the **enclosed brochure regarding your stormwater facilities (BMP's)**. Hopefully, this information gives you a better understanding of these improvements. Any questions at all please contact our office.

Sincerely,

Vision Engineering, Inc.

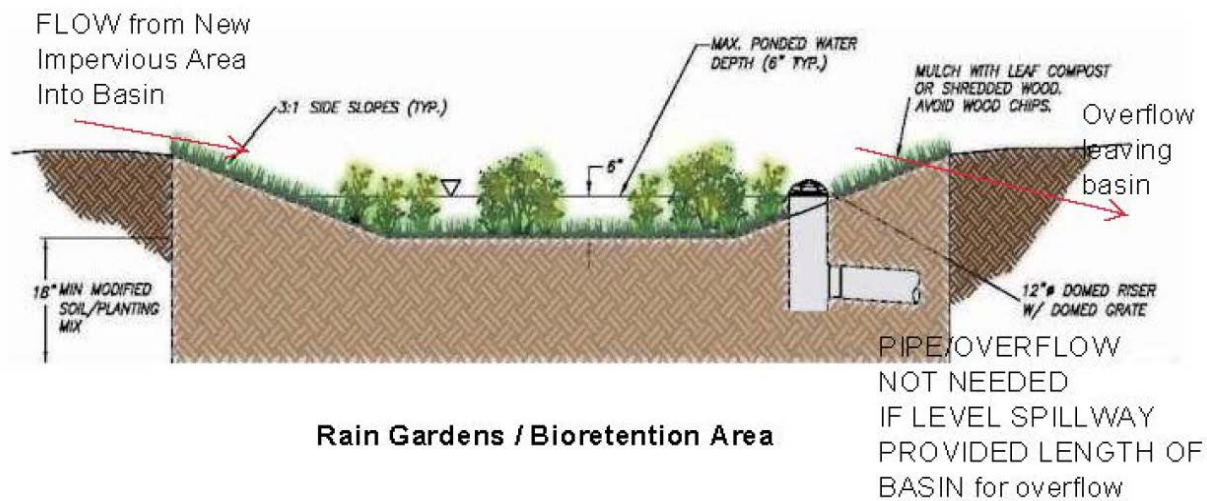
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John K. Roche, P.E.

Enclosures BMP Manual (brochure) & SKETCH

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Stone Trench Details Below (see PERMIT)
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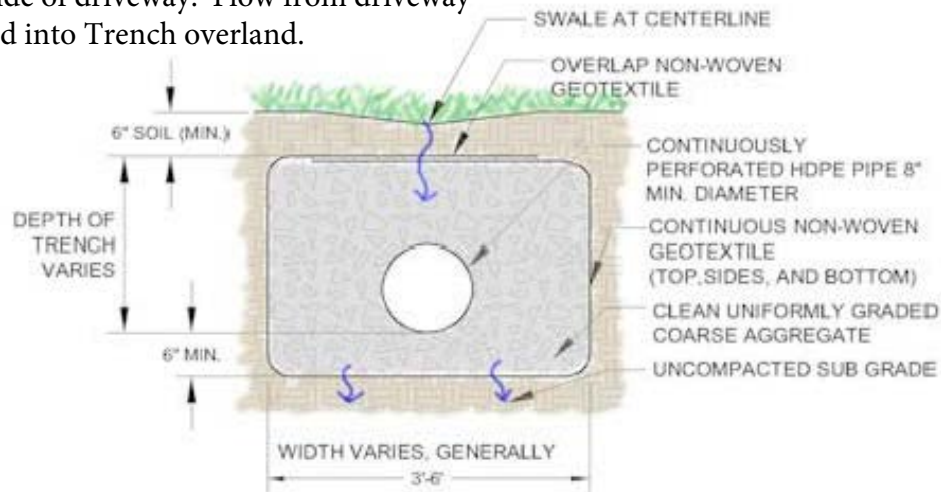


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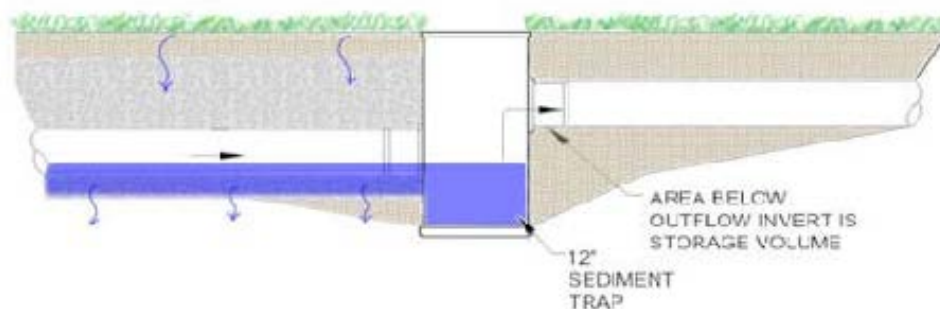


Figure 6.4-2



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March 17, 2020

Jerald M. Petersheim

2862 Best Road

Morgantown, PA 19543

RE: SMALL SW Project 2860 Best Road **PERMIT CAERN-020310 - Expand Existing Home (27'x32') = 864 Square Feet of New Impervious for STORMWATER**

Dear Mr. Petersheim:

We have reviewed the above Application in accordance with the current Caernarvon Township SWM Ordinance (2014). Based on your project with **864 square feet (SF) of net impervious area**, an **infiltration volume of 72 Cubic Feet (CF) or 550 gallons** is required. Construct an infiltration facility (BMP) with a **void (storage) volume of 72 CF or 550 Gallons** or more to **receive the runoff from the proposed improvements (or other equivalent impervious area)**; examples/options as follows (select ONLY one BMP below):

1. Install a shallow **rain garden** with minimum dimensions of **30 feet long by 3 FEET wide** (or equivalent area) and a **depth of no more than six (6") inches**.
OR.
2. Install a **Stone Trench/Bed** with minimum dimensions of **48 feet long by 3 feet wide by 15" deep** (or equivalent area) **no more than (15") deep**.

NOTE: BMP's shall be kept away from ROAD, driveways, property lines, septic tank, drain field, sand mound, **well**, building foundation and outside of easements and right-of-ways. If you meet the above conditions in implementing the improvements shown on your plan you can consider this letter as your **STORMWATER PERMIT** for the project and **are considered compliant**. Please also take note of the **enclosed brochure regarding your stormwater facilities (BMP's)**. Hopefully, this information gives you a better understanding of these improvements. Any questions at all please contact our office.

Sincerely,

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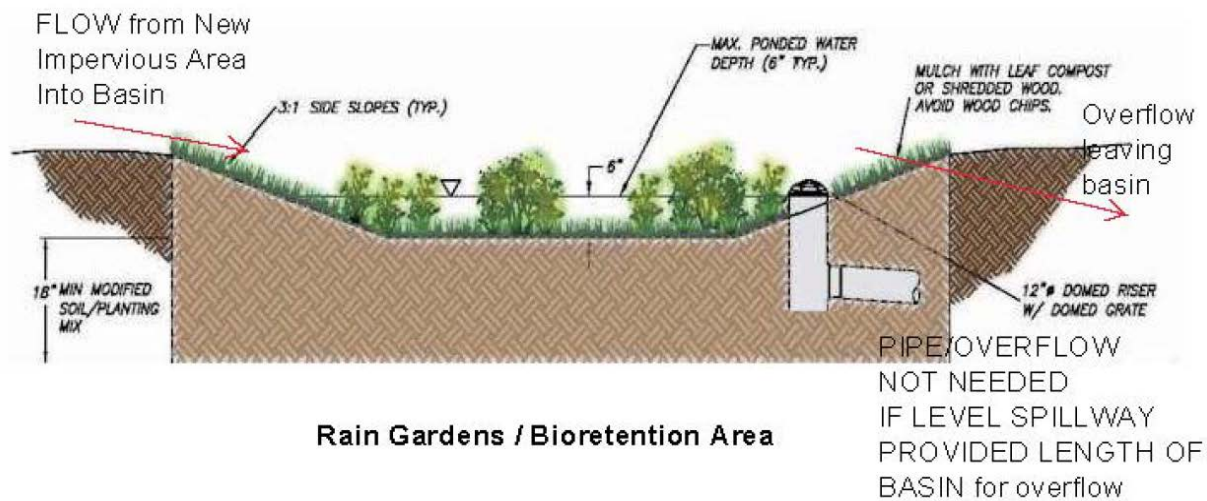
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John K. Roche, P.E.

Enclosures BMP Manual (brochure) & SKETCH

cc: Caernarvon Township, Robin Royer & FILE



Stone Trench Details Below (see PERMIT)
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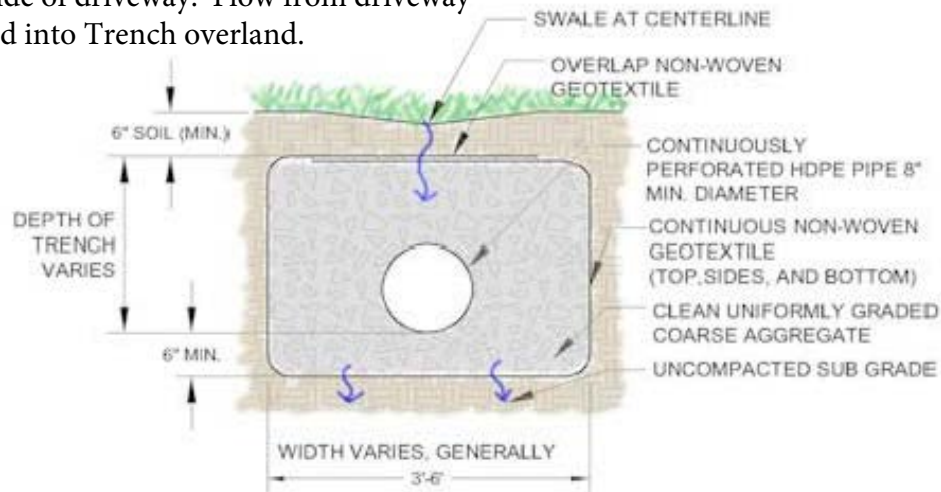


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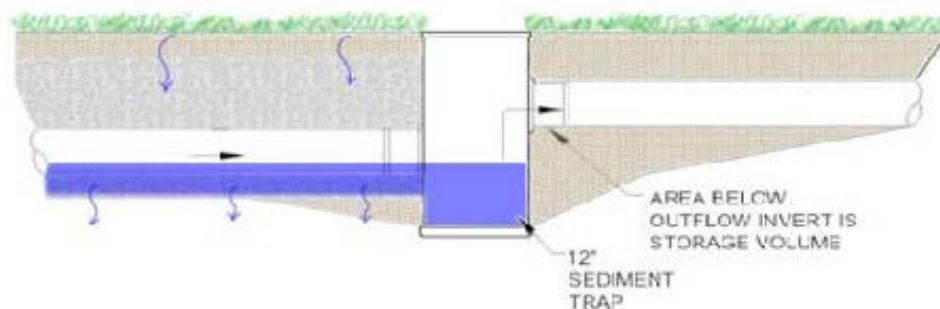


Figure 6.4-2



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March 17, 2020

Patrick Stauffer

2334 Violet Lane

Narvon, PA 17555

RE: SMALL SW Project 2334 Violet Lane **PERMIT CAERN-020311 - Install New Shed (14'x24') OVER NEW Gravel Pad (18'x32') = 504 Square Feet of New Impervious for STORMWATER**

Dear Mr. Stauffer:

We have reviewed the above Application in accordance with the current Caernarvon Township SWM Ordinance (2014). Based on your project with **504 square feet (SF) of net impervious area**, an **infiltration volume of 42 Cubic Feet (CF) or 325 gallons** is required. Construct an infiltration facility (BMP) with a **void (storage) volume of 42 CF or 325 Gallons** or more to **receive the runoff from the proposed improvements (or other equivalent impervious area)**; examples/options as follows (select ONLY one BMP below):

1. Install a shallow **rain garden** with minimum dimensions of 20 feet long by 2.5 FEET wide (or equivalent area) and a depth of no more than six (6") inches.
OR.
2. Install a **Stone Trench/Bed** with minimum dimensions of 30 feet long by 3 feet wide by 15" deep (or equivalent area) **no more than (15") deep**.

NOTE: BMP's shall be kept away from ROAD, driveways, property lines, septic tank, drain field, sand mound, **well**, building foundation and outside of easements and right-of-ways. If you meet the above conditions in implementing the improvements shown on your plan you can consider this letter as your **STORMWATER PERMIT** for the project and are considered compliant. Please also take note of the enclosed brochure regarding your stormwater facilities (BMP's). Hopefully, this information gives you a better understanding of these improvements. Any questions at all please contact our office.

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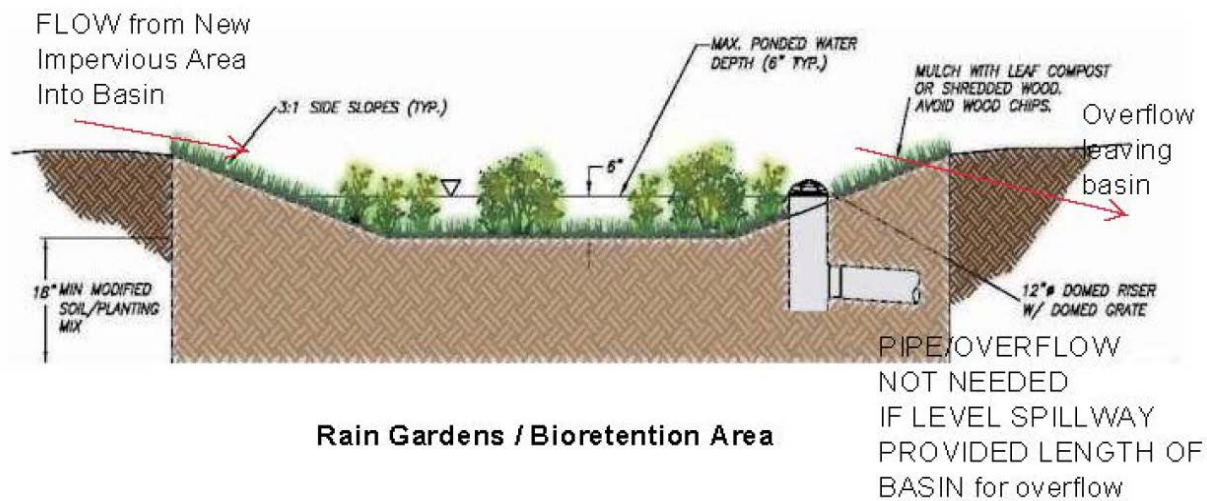
Caernarvon Township Engineer

A handwritten signature in black ink, appearing to read "John K. Roche", is written over a large, faint, circular stamp or seal.

John K. Roche, P.E.

Enclosures BMP Manual (brochure) & SKETCH

cc: Caernarvon Township, Robin Royer & FILE



Stone Trench Details Below (see PERMIT)
 Pipe is not necessary for trench placed alongside of driveway. Flow from driveway directed into Trench overland.

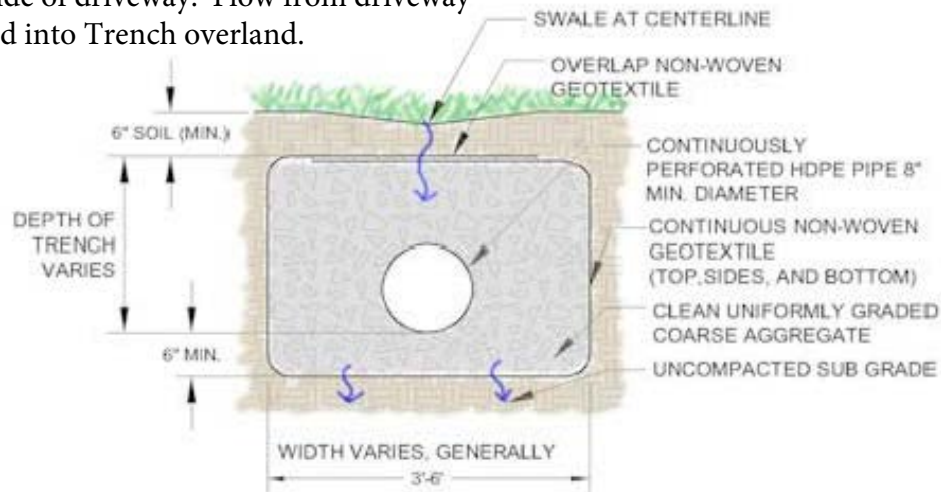


Figure 6.4-1

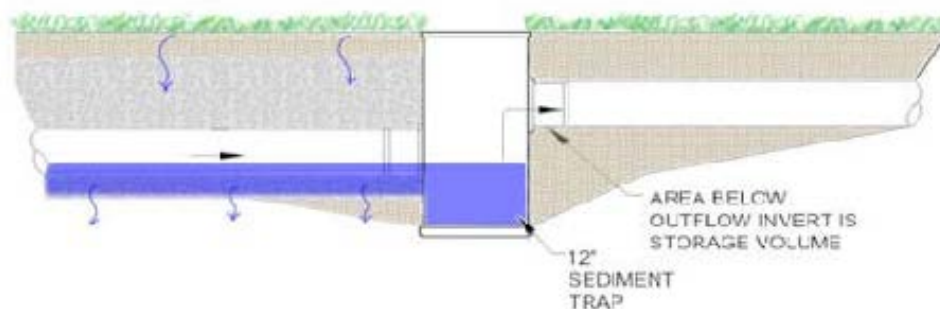


Figure 6.4-2

Vision

Engineering Inc.

155 East Front Street {Rear}, Lititz, PA 17543 • 717-625-1930 • Fax 717-625-1931 • www.visionengineeringinc.net

March 11, 2020

VIA Email to: Larry Mitten: larry.mitten@eciWireless.us

RE: Verizon 610 Edwards Road SW Plan #015106, Caernarvon Township
FEE RECONCILIATION TO DATE

Dear Mr. Mitten,

As an update and reconciliation of this projects fees paid and incurred to date we are providing the current reconciliation of the account balance as follows:

<u>FEES PD & DESCRIPTION</u>	<u>DEBIT</u>	<u>CREDIT</u>	<u>BALANCE</u>
2019 & LATER CHARGES ONLY:			
Inv. # VE0194314 (2/19)	\$ 400.00		-\$ 6,402.50
Inv. # VE0194340 (3/19)	\$ 240.00		-\$ 6,642.50
Check #38605 (4/19)		\$ 6,642.50	\$ 0.00
Inv. # VE0194370 (4/19)	\$ 75.00		-\$ 75.00
Inv. # VE0194400 (5/19)	\$ 165.00		-\$ 240.00
Inv. # VE0194445 (7/19)	\$ 660.00		-\$ 900.00
Inv. # VE0194471 (8/19)	\$ 165.00		-\$ 1,065.00
Inv. # VE0194496 (9/19)	\$ 495.00		-\$ 1,560.00
Inv. # VE0194516 (10/19)	\$ 725.00		-\$ 2,285.00
Inv. # VE0194540 (11/19)	\$ 110.00		-\$ 2,395.00
Inv. # VE0204585 (1/20)	\$ 825.00		-\$ 3,220.00
Inv. # VE0204605 (2/20)	\$ 165.00		-\$ 3,385.00

ACCOUNT PAYMENT (PROFESSIONAL FEES) DUE OF \$ 3,385 .00

The fees listed above and attached (invoice copies) are associated with your project and have been OVER due and payable to Caernarvon Township for some time. Please advise as to the status immediately and then Please forward payment to our office for further processing. If you have any questions at all please let us know.

Respectfully,

Vision Engineering, Inc.

Caernarvon Township Engineer



Sue Monroe

Administrative Assistant

Enclosures (invoices listed above)

cc: Caernarvon Township/FILE



Engineering Inc.

155 East Front Street {Rear}, Lititz, PA 17543 • 717-625-1930 • Fax 717-625-1931 • www.visionengineeringinc.net

March 11, 2020

APPLICANT/OWNER

Mervin & Ada King

5 Locust Grove Drive

Narvon, PA 17555

RE: Subdivision/Land Development Plan CAERN-016110

Division Highway/SR 0322 (Ivan S. Smucker), Caernarvon Township

FEE RECONCILIATION TO DATE

Dear Applicant:

As an update and reconciliation of this projects fees paid (professional) and incurred to date we are providing the current reconciliation of your account balance. The costs incurred to date have reflected processing and review costs associated with your Plan through the February Billing cycle (2/22/20) as follows:

<u>FEES PD & DESCRIPTION</u>	<u>DEBIT</u>	<u>CREDIT</u>	<u>BALANCE</u>
ABOVE INVOICES REMOVED SHOWING ONLY MORE CURRENT CHARGES			
Inv. # VE0173737 (11/17)	\$ 350.00		(\$ 2,738.75)
Inv. # VE0183931 (3/18)	\$ 472.50		(\$ 3,211.25)
Check #716 (4/18)		\$ 2,738.75	(\$ 472.50)
Inv. # VE0184150 (9/18)	\$ 190.00		(\$ 662.50)
Inv. # VE0184251 (12/18)	\$ 736.25		(\$ 1,398.75)
Inv. # VE0194401 (5/19)	\$ 80.00		(\$ 1,478.75)
Check #271 (1/20)		\$ 1,478.75	\$ 0.00
Inv. # VE0204606 (2/20)	\$ 110.00		(\$ 110.00)

ACCOUNT CHARGES OF \$ 110.00 are due and payable to Caernarvon Twp.

The fees and payments listed above should reflect your account balance at this time. Thank you for your recent payment (reflected above). Please forward any payments due to our office for further processing. If you have any questions at all please let us know.

Respectfully,

Vision Engineering, Inc.

Caernarvon Township Engineer

Sue Monroe

Administrative Assistant

cc: Caernarvon Township & File
Enclosures (invoices listed above)

Vision

Engineering Inc.

155 East Front Street {Rear}, Lititz, PA 17543 • 717-625-1930 • Fax 717-625-1931 • www.visionengineeringinc.net

March 11, 2020

APPLICANT Paramount Realty Services, Inc.

1195 Route 70

Lakewood, NJ 08701

ATTN: Joseph Mizrahi

RE: Wawa Convenience Store w/Gas CAERN-018103 Land Development/SW
Main St (SR 0023)/Twin County Rd (SR 0010) Caernarvon Township

FEE RECONCILIATION TO DATE

Dear Applicant:

As an update and reconciliation of this projects fees paid and incurred to date we are providing the current reconciliation of the account balance as follows:

<u>ESCROW FEES (2019 ONLY)</u>	<u>DEBIT</u>	<u>CREDIT</u>	<u>BALANCE</u>
INV. #VE-0194282 (1/19)	\$ 7,625.00		\$ 18,323.75
Check #1763 (3/19)		\$ 29,023.75	\$ 10,700.00
INV. #VE-0194315 (2/19)	\$ 1,170.00		\$ 9,530.00
INV. #VE-0194342 (3/19)	\$ 220.00		\$ 9,310.00
INV. #VE0194371 (4/19)	\$ 3,210.00		\$ 6,100.00
INV. #VE0194420 (6/19)	\$ 220.00		\$ 5,880.00
INV. #VE0194447 (7/19)	\$ 660.00		\$ 5,220.00
INV. #VE0194473 (8/19)	\$ 4,510.00		\$ 710.00
INV. #VE0194499 (9/19)	\$ 4,250.00		\$ 3,540.00
INV. #VE0194518 (10/19)	\$ 1,210.00		\$ 4,750.00
Check #2302 (12/19)		\$ 14,240.00	\$ 9,490.00
INV. #VE0194541 (11/19)	\$ 650.00		\$ 8,840.00
INV. #VE0194565 (12/19)	\$ 165.00		\$ 8,675.00
INV. #VE0204586 (1/20)	\$ 660.00		\$ 8,015.00
INV. #VE0204607 (2/20)	\$ 817.50		\$ 7,197.50

No payment is **due** at this time. The Escrow Funds are adequate at this time. If you have any questions at all please let us know.

Respectfully,

Vision Engineering, Inc.

Caernarvon Township Engineer



Sue Monroe

Administrative Assistant

Enclosure (Invoices listed above)

cc: Caernarvon Township Board of Supervisors/File

Vision

Engineering Inc.

155 East Front Street {Rear}, Lititz, PA 17543 • 717-625-1930 • Fax 717-625-1931 • www.visionengineeringinc.net

March 11, 2020

OWNER/ APPLICANT

Sylvia J. & Glen N. Martin

108 Water Street

Narvon, PA 17555

RE: Subdivision/Lot Add-On Plan CAERN-019106

108 Water Street Caernarvon Township

FEE RECONCILIATION TO DATE

Dear Applicant:

As an update and reconciliation of this projects fees paid (professional) and incurred to date we are providing the current reconciliation of your account balance. The costs incurred to date have reflected processing and review costs associated with your plan through the February Billing cycle (2/22/20) as follows:

<u>FEES PD & DESCRIPTION</u>	<u>DEBIT</u>	<u>CREDIT</u>	<u>BALANCE</u>
Escrow Review Fee Paid check #2148		\$ 1,800.00	\$ 1,800.00
Inv. #VE0194503 (9/19)	\$ 20.00		\$ 1,780.00
Check #2182 (10/19)		\$ 20.00	\$ 1,800.00
Inv. #VE0204587 (1/20)	\$ 825.00		\$ 975.00
Inv. #VE0204608 (2/20)	\$ 275.00		\$ 700.00

NO FEES ARE DUE AT THIS TIME.

As an update, since your plan has been completed and closed out we are sending a copy of this account balance and invoices to Caernarvon Township for FINAL reconciliation. Subsequently, you may be receiving a refund of any remaining funds in your balance accordingly. If you have any questions at all please let us know.

Respectfully,

Vision Engineering, Inc.

Caernarvon Township Engineer



Sue Monroe

Administrative Assistant

Enclosure (Invoices listed above)

cc: Caernarvon Township Board of Supervisors/File

Vision

Engineering Inc.

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March 11, 2020

OWNER/APPLICANT

Benuel M. & Lavina S. Smucker
2049 Turkey Hill Road
Narvon, PA 17555

CONSULTANT

Hershey Surveying, Inc.
325 Broad Street
East Earl, PA 17519

RE: Subdivision/Lot Add-On Plan CAERN-019108
456 Lambert Road & 2049 Turkey Hill Rd Caernarvon Township
FEE RECONCILIATION TO DATE

Dear Applicant/ Agent:

As an update and reconciliation of this projects fees paid (professional) and incurred to date we are providing the current reconciliation of your account balance. The costs incurred to date have reflected processing and review costs associated with your plan through the February Billing cycle (2/22/20) as follows:

<u>APPLICATION/ADMIN/SW FEES</u>	<u>DEBIT</u>	<u>CREDIT</u>	<u>BALANCE</u>
Admin Fee Check #5641 (Hershey Surveying)		\$ 775.00	\$ 775.00
Admin Fee Applied	\$ 25.00		\$ 750.00
Application Fee Applied	\$ 250.00		\$ 500.00
ESCROW FUND ESTABLISHED	\$ 500.00		\$ 0.00
<u>ESCROW FUND:</u>			
Escrow FUND ESTABLISHED ABOVE		\$ 500.00	\$ 500.00
Inv. #VE0204609 (2/20)	\$ 220.00		\$ 280.00


ACCOUNT CHARGES OF \$ 220.00 are due and payable to Caernarvon Twp.

The fees and credits (payments) listed above should reflect your current escrow balance at this time. Please forward payment of any charges due above to our office for further processing. If you have any questions at all please let us know.

Respectfully,

Vision Engineering, Inc.

Caernarvon Township Engineer



Sue Monroe

Administrative Assistant

Enclosure (Invoices listed above)

cc: Caernarvon Township Board of Supervisors/File



155 E. Front Street (rear-carriage house)

Lititz, PA 17543 P (717) 625-1930 F (717) 625-1931 www.VisionEngineeringInc.net

March 3, 2020

Ivan K. Fisher

247 S. Poole Forge Road

Narvon, PA 17555

RE: WORK WITHOUT PERMITS AT 6085 Division Highway, (#050-37692-0-0000)

(Earth Disturbance, Grading, Filling, Placement of Stone (Impervious Surfaces) approximating 4,800 square feet of new impervious areas), Caernarvon Township, Lancaster County

Dear Mr. Fisher:

As you are aware, it was brought to the attention of Caernarvon Township that certain unapproved work was completed at the above referenced property. You met with me to review the scope of work and what permits that are required. I have discussed this matter with the Board of Supervisors and they have instructed me to notify you of our findings.

A review of the property file reveals that a Stormwater Management (SWM) Plan and Permit will be required for the work that you have initiated to date. You are required to file a stormwater management plan with the Township office before any further work on your property is undertaken. In accordance with Caernarvon Township Ordinance # 102 (dated May 5, 2014), this work is considered a "regulated activity" and you are therefore required to "prepare a SWM Site Plan (§301.A.) and seek approval from the Township (§301.B).

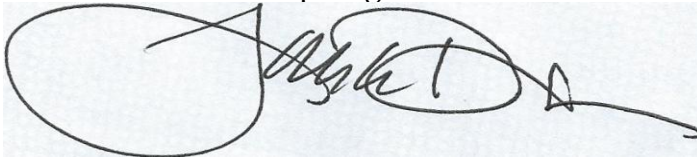
As further background, according to our records, this property has expanded the impervious surfaces over the years (1989 to present) without the filing of any Stormwater Permits. In an attempt to clearly quantify the work completed to date without permits we have compared the site from a Survey (1989) to a recent Survey submitted (2019). In that comparison, we have estimated the work to represent an increase of approximately 4,800 square feet of NEW impervious installed without permits.

Fortunately, the scope of work (under 5,000 square feet) would qualify for the processing of as a "Small Stormwater Permit". Subsequently we are enclosing herewith a copy of the Small Stormwater Permit application for your prompt filing.

If you wish to continue with this work, we would encourage you to promptly file this permit application for review and processing. Alternatively, if you do not want to pursue this work, you must abate this violation by removing the improvements and restoring the disturbed areas accordingly. We have provided a survey copy showing the limits of impervious surfaces dating back to 1989 which shall be restored.

Please notify us of your plans and timing to comply with these requirements or alternatively to further abate this work (removal of work and restoration of disturbed areas) so that your property is in compliance with this Ordinance. For your understanding, we have prepared this cover letter to help explain the process to bring your property into compliance with the Ordinance's requirements. We believe that based upon your good faith efforts to date that this letter will suffice. However, as is required, we have enclosed a formal Notice of Violation attached advising you of your full rights and responsibilities in this matter. Hopefully, this explanation gives you a better understanding of what is required. Any questions at all, please contact our office.

Sincerely,
Vision Engineering, Inc.
Caernarvon Township Engineer

A handwritten signature in black ink, appearing to read 'John K. Roche', is written over a light blue rectangular background.

John K. Roche, P.E.

Enclosures (highlighted sections of SWM Ordinance # 102 (2014), Formal Enforcement Notice, Comparison Survey Maps & SMALL SW APP attached)

cc: Caernarvon Township Board of Supervisors
Robin Royer, Zoning Officer
FILE

**NOTICE OF VIOLATION OF
STORMWATER MANAGEMENT ORDINANCE
AND
CEASE AND DESIST ORDER**

To: **Ivan K. Fisher**
247 S. Poole Forge Road
Narvon, PA 17555

RE: 6085 Division Highway, (#050-37692-0-0000), Caernarvon Township
Lancaster County, PA

You are hereby notified that the above referenced property is found to be in violation of the Caernarvon Township Stormwater Management (SWM) Ordinance #102. The specific Ordinance violations are listed on the following pages of this notice. You must comply with this Notice of Violation promptly and must commence action to correct or remove the listed violations no later than April 3, 2020. In no case shall you abandon the premises in such condition as to create a hazard or menace to the public safety, health, morals or welfare. If we do not hear from you within the next thirty (30) days we will assume that all the below violations are confirmed and not refuted. At that time you will be considered in violation of the Caernarvon Township SWM Ordinance and will be subject to other remedies, actions, penalties, fines, etc. Therefore, it would be in your best interest to contact this office as soon as possible before it reaches that point.

APPEAL RIGHTS: Section 904 of the Caernarvon Township Stormwater Management Ordinance # 102 provides you have the right to appeal this NOTICE OF VIOLATION by filing an application for appeal with the Caernarvon Township Board of Supervisors within thirty (30) days of the date of this letter. Failure to file an appeal to the Caernarvon Township Board of Supervisors will result in a waiver of your right to contest the facts of your violation. Failure to comply with the Notice and ORDER within the time specified constitutes a violation, unless extended by appeal to the Caernarvon Township Board of Supervisors. Such failure to comply will subject you to the sanctions described below.

TOWNSHIP ACTION UPON YOUR NON-COMPLIANCE: Section 903.A. of the Caernarvon Township Stormwater Management Ordinance # 102 states "Any person who or which has violated any provisions of this Ordinance, shall, upon a judicial determination thereof, be subject to civil judgment for each such violation of not less than One Hundred and 00/100 dollars (\$ 100.00), or more than Five Hundred and 00/100 dollars (\$ 500.00), for each violation, recoverable with

costs. Each day that a violation occurs shall constitute a separate offense. All fines shall be paid to Caernarvon Township."

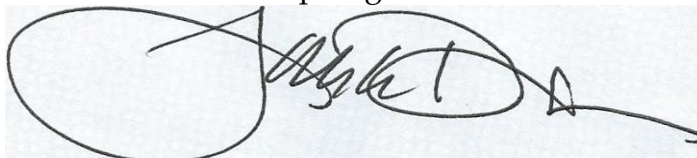
Moreover, Section 903.B. of the Caernarvon Township Stormwater Management Ordinance # 102 states "In addition, the Caernarvon Township may institute injunctive, mandamus or any other appropriate action or proceeding at law or in equity for the enforcement of this Ordinance, and may request any court of competent jurisdiction shall have the right to issue restraining orders, temporary or permanent injunctions, mandamus or other appropriate forms of remedy or relief."

Description of current violations: The following conditions are in violation of the Caernarvon Township Stormwater Management Ordinance # 102:

1. **Definitions Section consider the following items to be considered Regulated Activities** - Activities, including Earth Disturbance Activities that involve the alteration or development of land in a manner that may affect stormwater runoff. Regulated activities shall include, but not be limited to:
 - a. ☐ Removal of ground cover, grading, filling or excavation;
 - b. ☐ Construction of new or additional impervious or semi-impervious surfaces (driveways, parking lots, etc.), and associated improvements;
2. **Section 301.A. states** "Preparation of a SWM Site Plan is required for all regulated activities,"
3. **Section 301. B. states** "No regulated activities shall commence until the municipality issues unconditional written approval of a SWM Site Plan or Stormwater Permit.

If you have any questions at all please contact our office.

Respectfully,
Vision Engineering, Inc.
Caernarvon Township Engineer

A handwritten signature in black ink, appearing to read 'John K. Roche', is written over a light blue rectangular background.

John K. Roche, P.E.
President

cc: Caernarvon Township Board of Supervisors
Robin Royer, Zoning Officer
FILE

N/F KEITH M. &
CHERYL L. GARMAN
INST. NO. 6266868
2015-0238-J

28th DIVISION HIGHWAY (SR-322)

IVAN K. &
RUTH B. FISHER
INST. NO. 6320079, TRAL
ACCT. 050-36044-0-00

CbB CbC

N/F JAMES H. EWELL
INST. NO. 6308590
SPB 2016-0401-J
(SEE DIEHM DWG. NO. 15161)

N/F RAYMOND E. JR. &
JANE E. RAVEGUM
DEED 3783-57
SPB J-138-92

IVAN K. &
RUTH B. FISHER
INST. NO. 6320079, TRACT NO. 1
ACCT. 050-37692-0-0000
SPB J-164-36

1989
PLAN

2019 PLAN

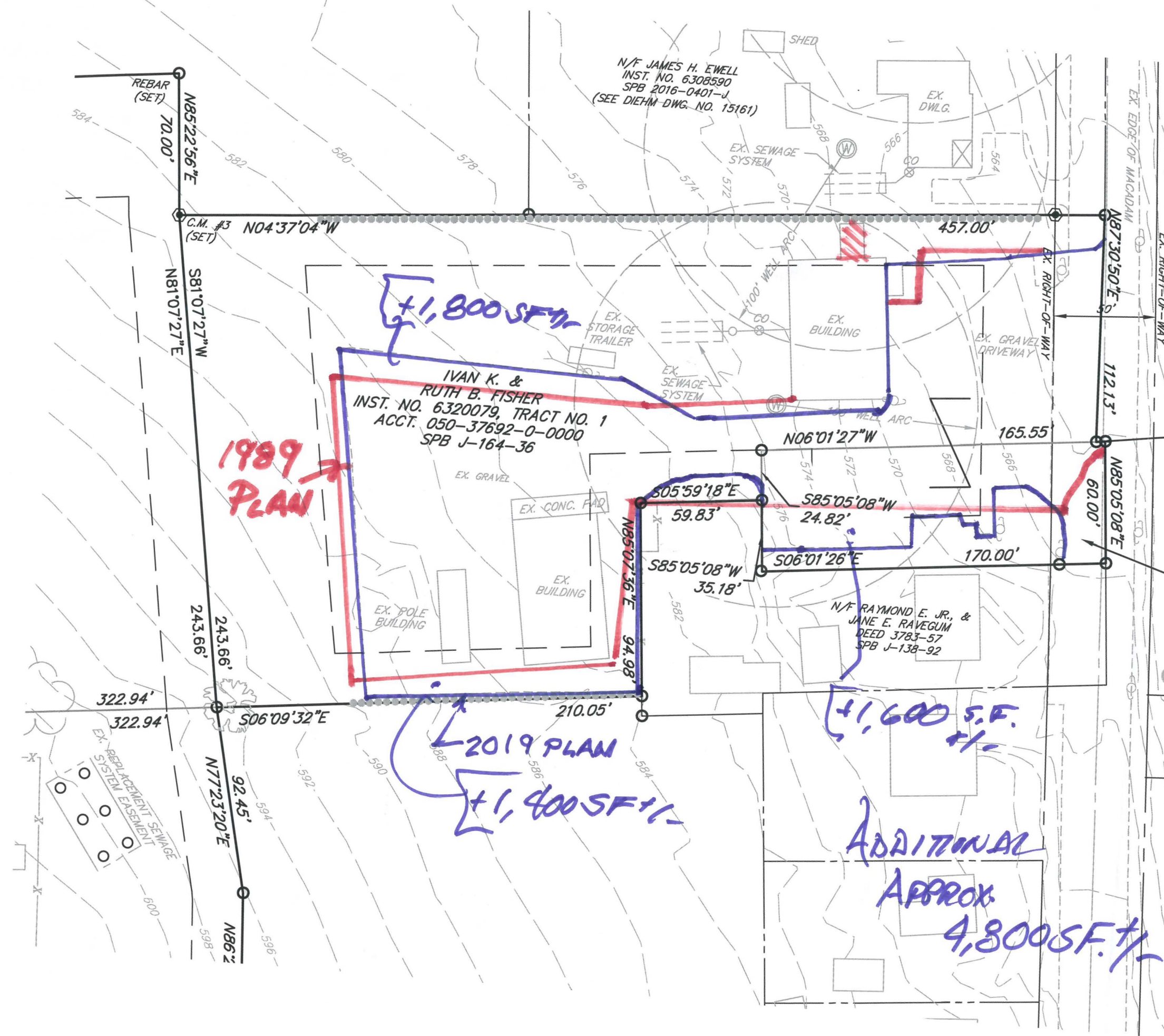
+1,400 SF +/-

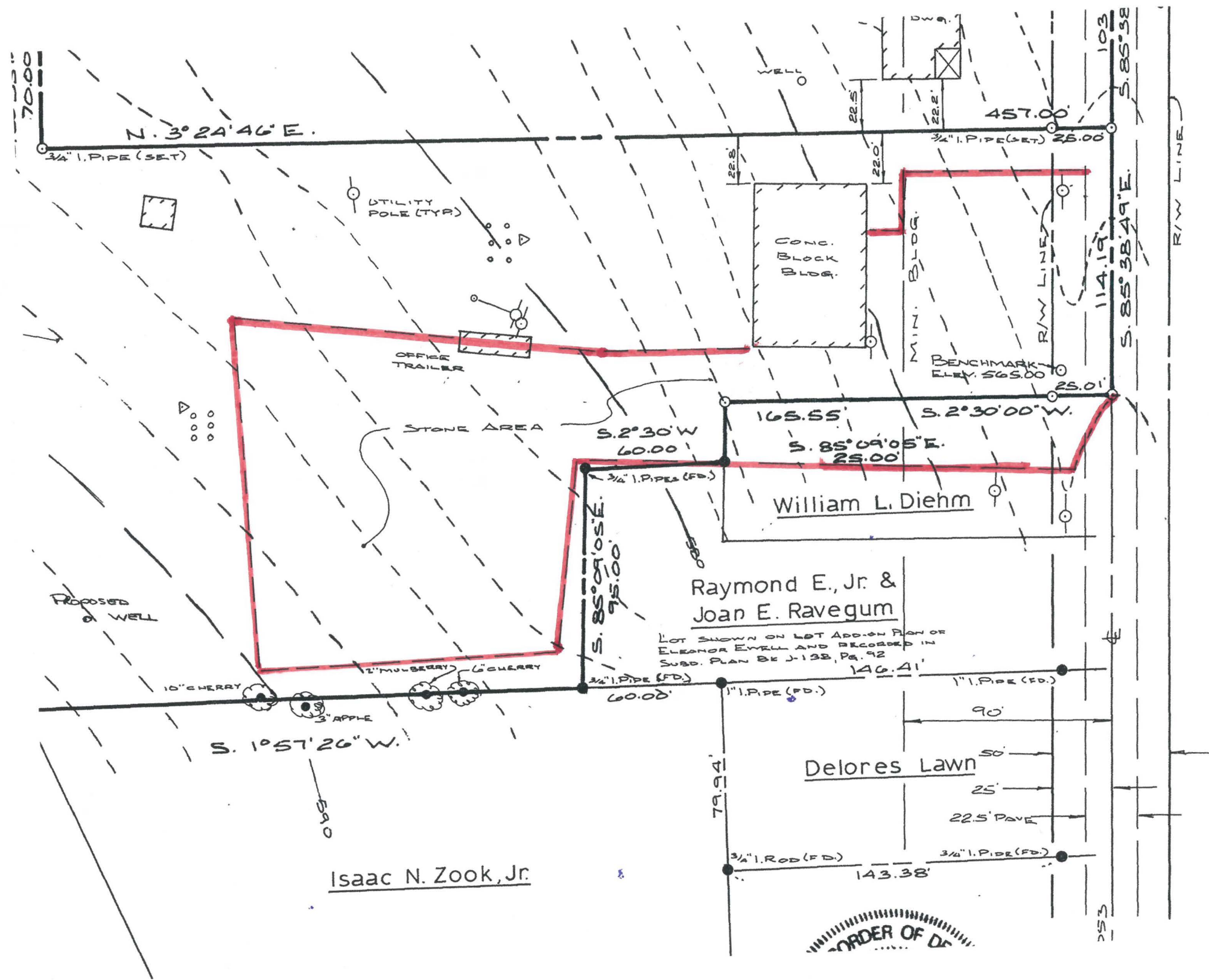
+1,800 SF +/-

+1,600 S.F. +/-

ADDITIONAL
APPROX
4,800 SF +/-

SCALE: 1" = 50'





US ROUTE 322

1989
SURVEY PLAN -